



Rancho Santa Fe Association

Board of Directors

Staff Report – Board of Directors Information

Date: March 4, 2021

By: Maryam Babaki, Building Commissioner

Item: Regulation Update: Working Draft Regulation, Exterior Materials

Background:

The Rancho Santa Fe Building Department is continuing the work of updating the Regulatory Code. As presented in November 2020, the Building Department is following the timeline and the work program in bringing the updated working draft and draft regulations before the Board. The attached working draft of the updated Exterior Materials (Chapter 49) reflects the input from our consultants as well as the Art Jury.

Analysis

In October and November of 2020, the Rancho Santa Fe Building Department brought forth a timeline and a work program to update a number of the Rancho Santa Fe Regulation topics (Attachment A). The work program also included an education and communication element for the membership through newsletter articles and other workshops. As specified in the timeline for March 2021, a Working Draft of the Exterior Materials Regulation, Chapter 49 (Attachment C). Also, as indicated in the timeline, this update was preceded by a communication outreach through the articles that were published in the newsletter. Over the past couple of months several articles have been published in the newsletter regarding these subject matters. Upon review and input by the Board, the Building Department will hold a zoom workshop to seek further input and communicate the nuances of the new Exterior Material Regulation to the membership. In drafting this updated regulation, the Building Department utilized the input and the expertise of our consultants who are industry experts as well as professionals in the field.

Noteworthy Revisions to the Regulations

Working Draft: Exterior Materials (Chapter 49):

- Definitions and preferences for various exterior materials (exterior cladding and roofs) have been provided.
- Matter of use, placement and integration as architectural treatment of various materials have been discussed.
- Graphics have been provided to aid in communicating preferences.
- A segment has been added to address excessive use of glass and steps to managing glazing and light nuisance.

Wood Cladding

In the past two months, the Rancho Santa Fe Fire Department as well as the County of San Diego Fire Department, took the steps to finally clearly define the use of wood as exterior cladding. At this time both organizations permit the use of certain fire-treated wood materials. These materials are manufactured by a few certified companies whose products have been accepted by the San Diego County Fire Department. In light of this clarification by the County Fire Department as well as the comments received by Rancho Santa Fe membership, the following adjustments were made to chapter 49:

- The percentage of allowable wood cladding on the exterior surface for new residences was increased from 25% to 33%. This percentage represents a more balanced architectural integration of a differing material into the overall exterior of a residence.
- The limitation on remodeling an existing wood residence to just an additional 25% of the original residence is removed. It appears that in light of availability of acceptable fire-treated wood cladding, such limitation may impact the abilities of such homeowners to renovate their residence.

The Art Jury is in support of these modifications.

Draft Regulation Comment Management

As with any subject, there are differing opinions and approaches to matters that are sensitive for the community. These regulations aim at preserving the character of the community and enhancing the “artistic result”, while remaining equitable for all membership. These regulations have also been vetted by our consultants who are professionals and industry experts. We also received comments from the Art Jury.

Fiscal Impact:

There are no fiscal impacts at this time.

Recommendation:

Board Information, Review and Discussion: Exterior Materials, Chapter 49

Attachments:

Attachment A: Regulation Timeline

Attachment C: Working Draft for Board Information and Discussion: Exterior Materials,
Chapter 49

ATTACHMENT A – Regulation Timeline

Building Department 2020-2021



- Communicate Regulation Changes
- A Change in Regulation Timeline

Communicate Regulation Changes:

Establish multi-step process to communicate with members

Step 1

Inform

- Inform membership of upcoming changes
- Publish fact sheets in newsletter and website.
- ***What does this Regulation mean to you?***

Step 2

View

- Allow members to view other comments
- Publish summary for membership information in newsletter and website

Step 3

Draft

- Prepare Draft for Board review

Step 4

Post

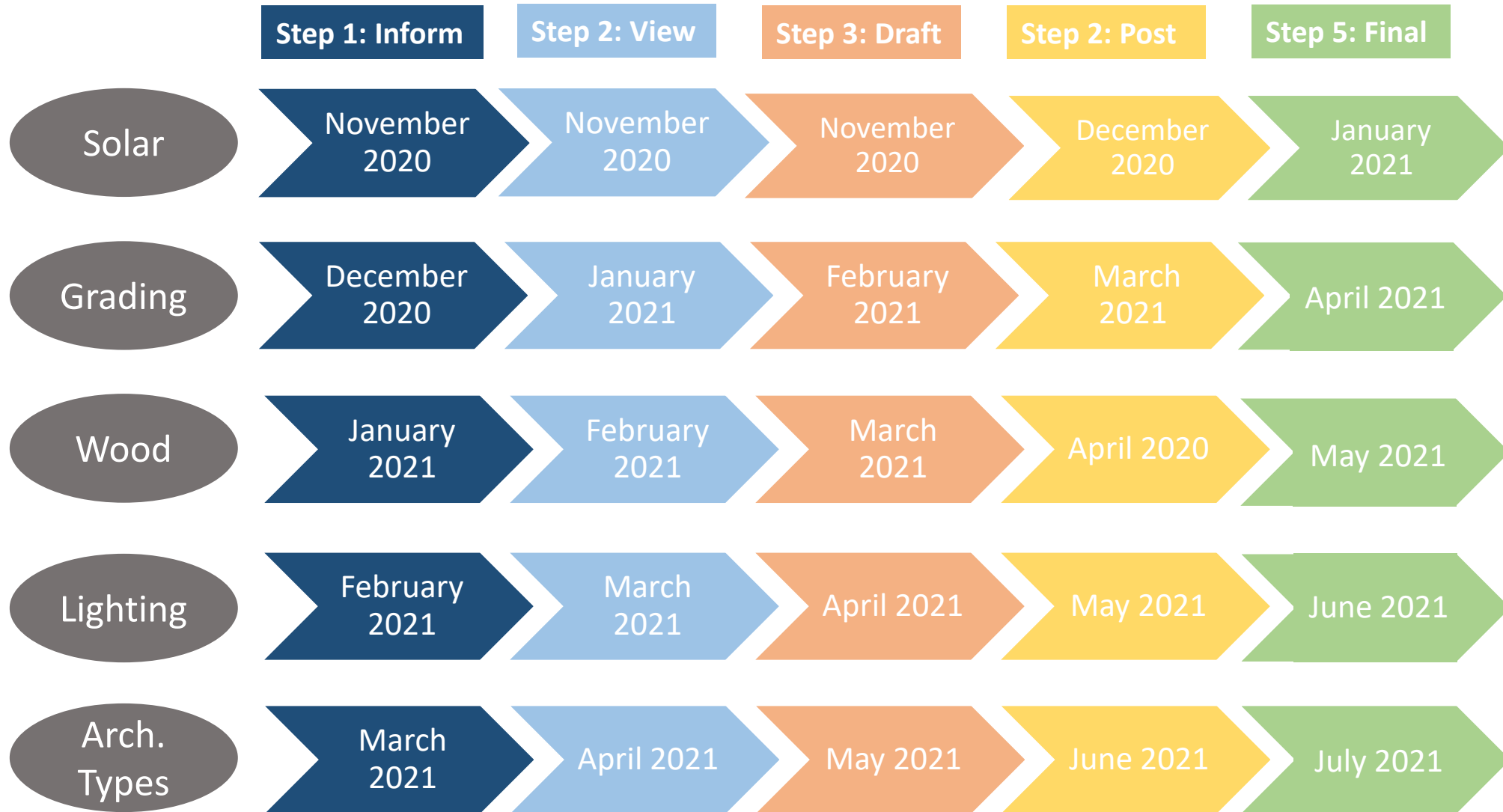
- Post for Membership comment
- Repeat Steps 1-4 if necessary

Step 5

Final

- Prepare Final for approval

Regulation Timeline



**ATTACHMENT C – Working Draft for Board
Information and Discussion: Exterior
Materials, Chapter 49**

CHAPTER 49

EXTERIOR MATERIALS

49.01 Purpose and Intent The provisions of this regulation apply to the exterior finishes of buildings and structures associated with any property within the jurisdiction of the Protective Covenant. This regulation is established pursuant to the authority established in the Governing Documents, including: The Preamble; Article III, Section 1 [Paragraph 46 through 50]; Article IV, Section 28 [Paragraph 153 through 160] of the Protective Covenant.

The Protective Covenant, par. 159 states that, materials: plaster, adobe or stucco exterior wall surfaces of a durable construction or concrete, stone or an approved artificial stone are to be preferred. Further, Par. 155 states that: “materials, color and forms must be used honestly, actually expressing what they are and not imitating other materials (such as tin, tile, wood, and sheet metal, shamming stone, etc.), as for instance, wood being treated frankly as wood and not in imitation of stone, wherever it is used.

49.02 Exterior Materials - Exterior Variation, Proportion & Scale – Well-proportioned buildings shall incorporate variations in massing, façade articulation and materials. Exterior building materials shall be used to emphasize these proportions by way of changes in materials. Façade materials shall emphasize simplicity compared to complexity, and refrain from multiple exterior materials on the same elevation. Façade variation and contrast is required to be in proportion with all the individual components that are defined by a change in materials. No more than three material changes shall occur on any one façade or residence in total (excluding windows and roofing materials).

49.0201 Natural Stone – Stone consists of texture, color, form with variations in the same area of use based on the highly variable nature of stone. Stone looks most natural as dry stacked or ledger stone, applied with a horizontal focus. Stone shall not be treated like paving on vertical surfaces that clearly shows it as being a veneer. In keeping with harmonization of surrounding areas, natural stone is best to be sourced from local quarries rather than imported.

49.02011 Composite Stone – Composite stone materials are acceptable if approved by the Art Jury. Proof of durability equivalent to natural stone is required.

49.02012 Stone Lintel – Where any stacked or compressed stone is used around windows or doors, lintels must be used as a header over the glazed area. Lintels may be of stone, composite stone, or treated concrete, depending on support requirements. See Exhibit A.

49.0202 Wood Cladding – Natural wood board and batten is allowed as an exterior material. However, considering that Rancho Santa Fe is a high fire risk area, its use therefore must be limited or must include materials appropriate for fire risk. High-quality treated wood, and technical treatments that create fire resistance will be considered by the Art Jury in order to meet codes for fire resistance.

All wood materials must be approved by the Rancho Santa Fe Fire Department and State Wildland and Urban Interface Codes and Standards.

49.02021 – In new construction, use of any wood cladding must be approved by the Art Jury, which will consider its relevance to the overall design guidelines, these regulations and its proportionality of use. Use of wood as exterior material must be limited to 33% of the total exterior surface, excluding windows and doors surfaces.

49.02022 – In the remodel or addition to an existing residence where wood has been used as the primary exterior for the cladding of the main residence, wood is allowed for continuity of design, subject to Art Jury approval.

49.0203 Plaster and stucco -are allowed, in lighter earth tones reflecting the surrounding colors of nature. Stucco texture should be of a smooth finish, also known as a “Santa Barbara” finish, or a light sand finish that is troweled to provide minimal shapes and textures with only slight undulations allowed. Cat face”, “English stucco”, “worm”, “lace”, “trowel sweep”, “web”, and “simulated timber” are not preferred. See Exhibit B.

49.0204 Concrete- maybe used as an exterior material, where it is board-formed and integrated with color in the same tones as discussed for plaster and stucco.

49.03 Roofing Materials

49.0301 Clay tile -is the traditional roofing material in keeping with Rancho Santa Fe character. Any tile roofing shall be two-piece natural tile with a 20% concrete boost, for required articulation. Tile colors shall be harmonious and natural. Sharp contrast in tile colors (e.g. “checkerboarding”) is not allowed. S tiles are not allowed. See Exhibit C.

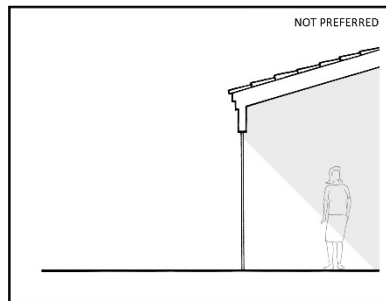
49.0302 Natural wood -material roofing is no longer allowed for fire safety. Artificial wood materials may be considered for approval by the Art Jury as long as the proposed material must meet California fire codes and be approved by the Rancho Santa Fe Fire Department.

49.0304 Roofing materials including metal (corrugated, standing seam, etc.), asphalt, slate tile are not allowed.

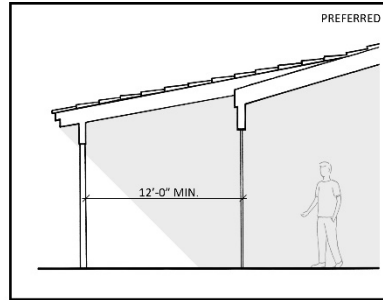
49.04 Exterior Glazing –

49.0401 Glass, whether incorporated in windows, doors or other architectural design elements (e.g. clerestory windows), may not exceed 33% of any exterior wall plane.

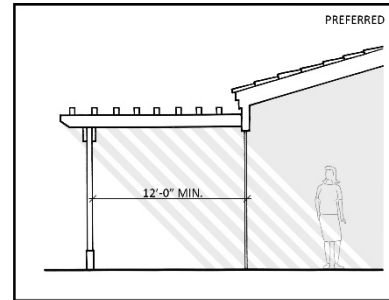
49.0402 Walls must win over windows where windows openings shall not exceed 50% of a given elevation, excluding wall returns. Large glazed openings spanning over 50% of an exterior wall plane may be considered if additional architectural elements are included such as a covered porch, veranda, trellis, or covered corridor, all extending to a minimum of 12' from the primary wall, to create shade and shadow, and to soften the visual impact of large spans of glass. The Art Jury shall consider site specific parameters including the potential for lighting nuisance to the community in the assessment and approval process.



FLAT BUILDING FACADE WITH LARGE GLAZING



PORCH/VERANDA - ARCHITECTURAL ELEMENT
ADDED TO GLAZING OVER 50%



TRELLIS - ARCHITECTURAL ELEMENT
ADDED TO GLAZING OVER 50%

EXHIBIT A

49.0302 NATURAL STONE FINISHES PREFERRED & NON PREFERRED EXAMPLES



PREFERRED Example of a Lintel



PREFERRED Example of a Lintel

EXHIBIT A

49.0302 NATURAL STONE FINISHES PREFERRED & NON PREFERRED EXAMPLES



PREFERRED APPROPRIATE EXAMPLE OF LINTELS



NOT PREFERRED UNAPPROPRIATE EXAMPLE OF LINTELS

EXHIBIT A

49.0302 NATURAL STONE FINISHES PREFERRED & NON PREFERRED EXAMPLES



NOT PREFERRED



NOT PREFERRED

EXHIBIT B

**49.0203 PLASTER AND STUCCO FINISHES
PREFERRED & NON PREFERRED EXAMPLES**

**SANTA BARBARA STUCCO
FINISH**



MEDIUM SAND FLOAT

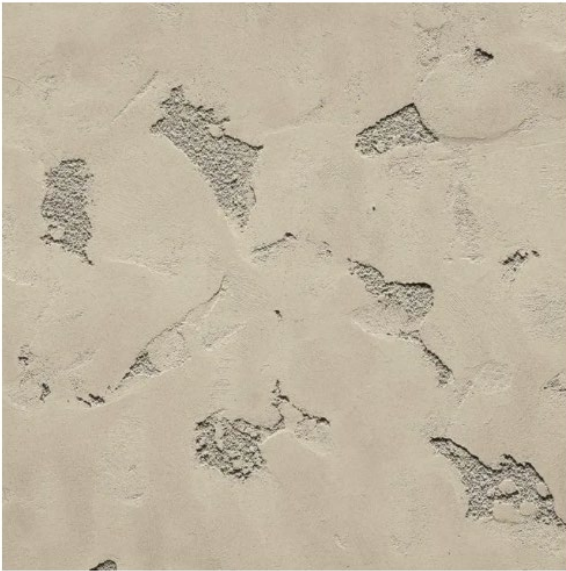


PREFERRED

EXHIBIT B

**49.0203 PLASTER AND STUCCO FINISHES
PREFERRED & NON PREFERRED EXAMPLES**

CAT FACES STUCCO FINISH



ENGLISH STUCCO FINISH



NOT PREFERRED

HEAVY LACE STUCCO FINISH



TROWEL SWEEP STUCCO
FINISH



NOT PREFERRED

EXHIBIT B

**49.0203 PLASTER AND STUCCO FINISHES
PREFERRED & NON PREFERRED EXAMPLES**

WEB STUCCO FINISH



SIMULATED TIMBER FINISH



Worm Finish



NOT PREFERRED

EXHIBIT C

49.0301 CLAY TILE FINISHES PREFERRED & NON PREFERRED EXAMPLES



PREFERRED



PREFERRED

EXHIBIT C

49.0301 CLAY TILE FINISHES PREFERRED & NON PREFERRED EXAMPLES



NOT PREFERRED



NOT PREFERRED